



**Bryan Bishop**  
*and partners*

**Tynings**  
**Ayot St. Lawrence**



# Tynings

## Ayot St. Lawrence Hertfordshire

### Summary:

Bryan Bishop and Partners are delighted to bring to the market this absolutely charming three double bedroom, two bathroom country home in the highly sought after village of Ayot St. Lawrence. Enjoying generous grounds of around one third of an acre along with a peaceful countryside location surrounded by open fields, this is a rare opportunity to acquire a well specified family home with stunning gardens and plenty of space, both inside and outside, yet within easy reach of the popular towns and villages nearby.

### Accommodation:

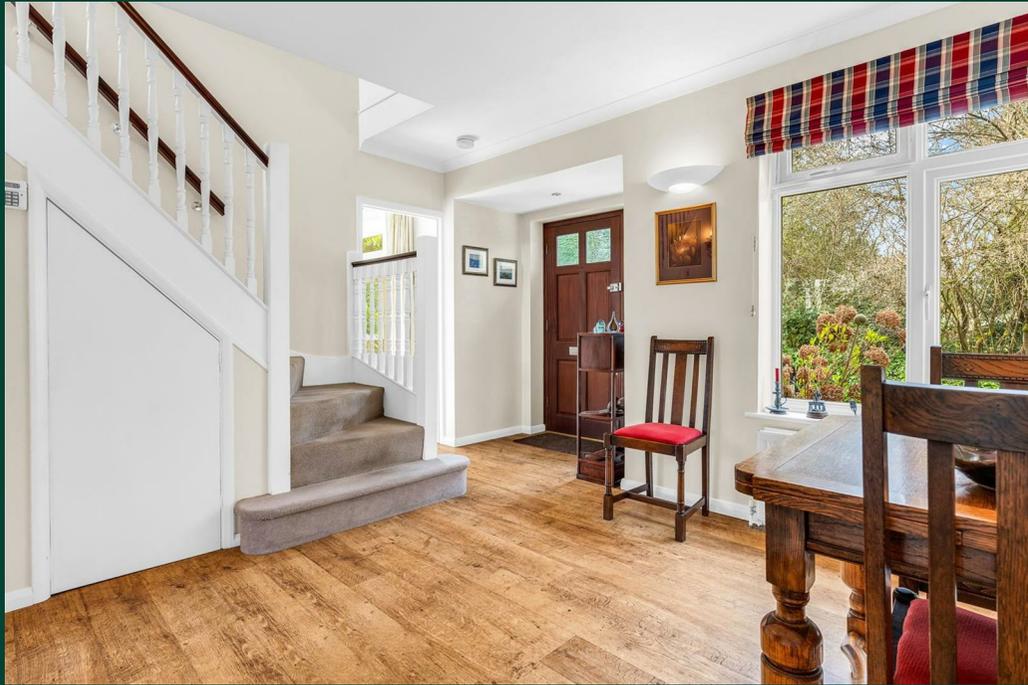
The pretty front door opens into a substantial entrance hall, which enjoys a large front facing window and an ideal square shape as well as generous proportions. Really it is probably better thought of as a reception room as it is easily able to accept occasional furniture whilst still leaving ample floor space to ensure all your guests receive a warm and homely welcome. Indeed it would readily perform for you as a dining room if that suited your lifestyle better. From the entrance hall/reception room there are doors through into the living room and kitchen, as well as an open archway through into the separate dining room.

The dining room is another large room with nicely balanced proportions, making it easy to configure and furnish in any way that best meets your needs. A large picture window allows an abundance of light to flow in unhindered, and the room is easily spacious enough to swallow a substantial dining table and chairs, along with other furniture items, with further storage provided by a useful built-in cupboard in the rear corner.

Occupying the centre of the rear part of the house is the kitchen, enjoying a smart tiled floor and tonally coordinating wall tiles around the splash back area, and another large window that presents expansive views out into the fabulous rear garden as well as keeping the room light and bright throughout the day. There is a comprehensive array of wall and floor mounted cabinets lining the perimeter, ensuring there is abundant storage and ample work top food preparation areas, with an integrated dishwasher and preplanned spaces for a free standing double-width range style cooker and upright fridge/freezer.

From the rear corner of the kitchen a door opens into an inner lobby that leads to a well placed guest cloakroom, a neat utility/laundry room and then on out through an external door into the rear gardens.







The living room runs the full depth of the house front to back and is blessed with windows set within all three of the outside walls, with the rear wall effectively being completely glass by way of French doors set within large picture windows flanking either side. The views out across the grounds are just superb, along with permanently elevated natural light levels that make this a lovely room in which to spend time with family friends whatever the time of day. It is a large room by any measure at twenty feet long with a beautifully subtle fireplace set half way along the outside wall providing an elegant focal point as well as cosy winter warmth, and will readily embrace multiple sofas and chairs in any configuration you desire.

Upstairs the hallway runs through the centre of the house opening into a charming recess at the centre with its own large roof window. This is an attractive feature that would also perform well practically for you as a home office space if needed. All three of the bedrooms are comfortable doubles in size, with two of them enjoying windows set into multiple aspects, really celebrating the wonderful location of this charming home. There are two bathrooms, both of which have been intelligently configured to be easily used by all of the bedrooms. One of them boasts a bath with shower attachment and screen fitted above it, whilst the other has a large walk-in shower.

#### Exterior:

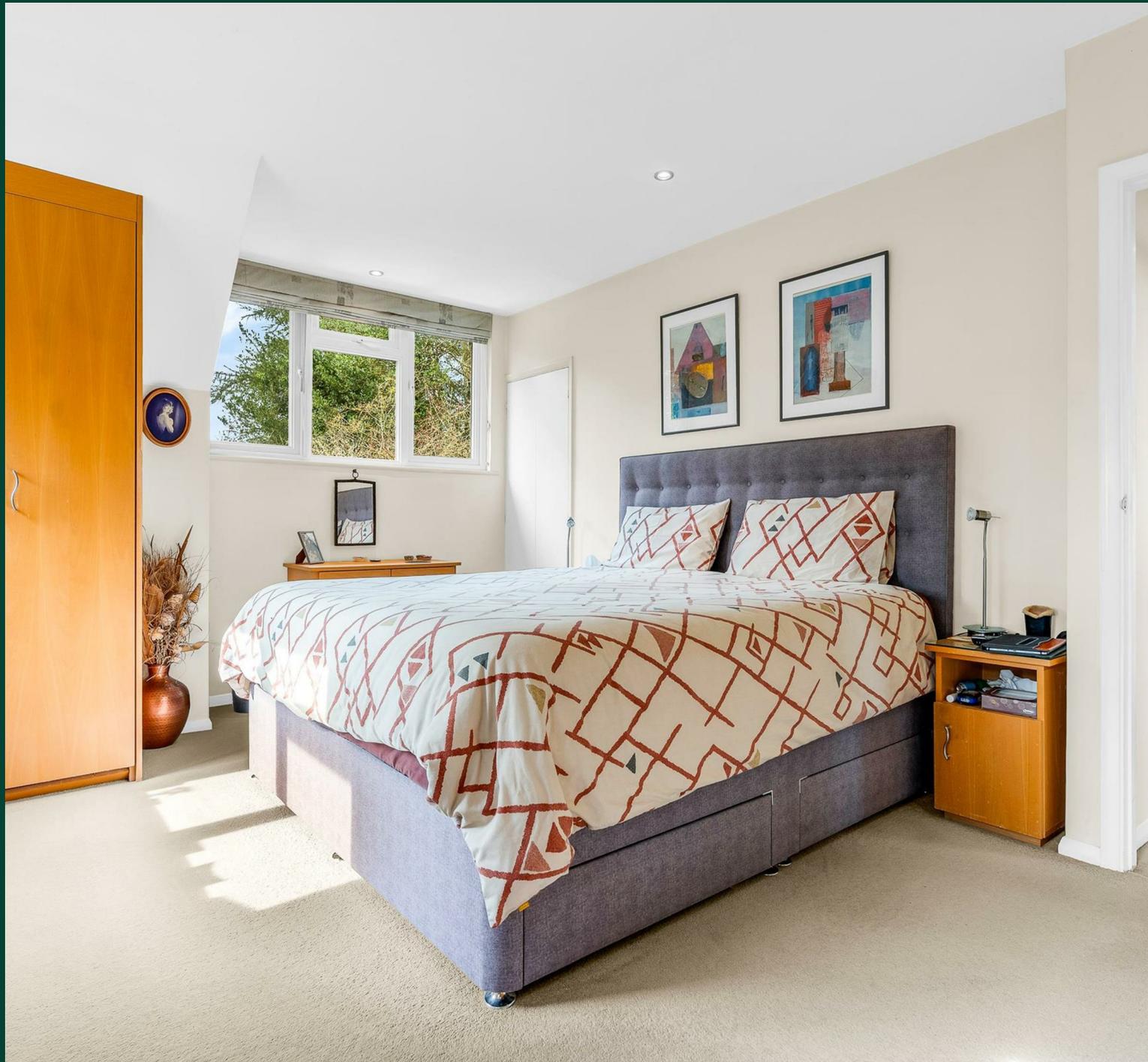
The house is set well back from the road with a private entrance that opens out into a very large driveway that provides substantial parking for multiple cars. High hedges and dense planting around the boundaries ensures a good degree of privacy, imbuing the whole property with a wonderful sense of countryside seclusion. The expansive gardens flow right around the house, enjoying open aspects on all sides and extending particularly far towards the south side where the gently undulating lawn passes a number of well stocked flower beds as well as a pretty pond, ending in a lovely woodland vista punctuated by a number of specimen trees and a timber shed blending into the natural background. To the side and rear of the house are two separate paved patio areas, meaning you can easily find sun or shade at any time of the day, both of which are bordered by creatively planted flower beds and are more than capable of accommodating outdoor seating and dining furniture ready to welcome family and friends. It is a stunning garden, beautifully landscaped and carefully maintained, benefitting from an integrated irrigation system to help keep it healthy and flourishing.



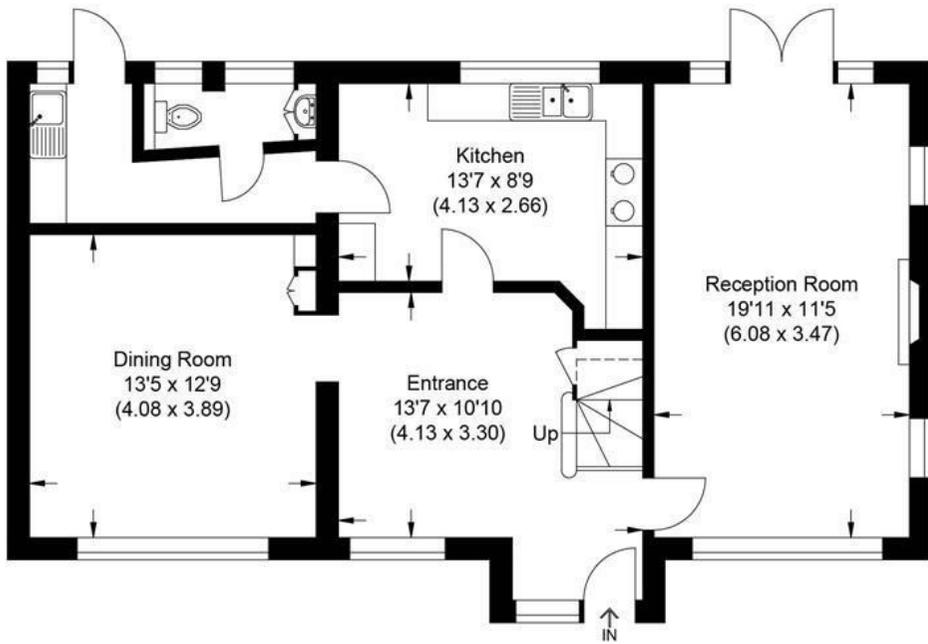
#### Location:

This charming property enjoys a fabulous location, being in a quiet rural setting within the highly desirable village of Ayot St, Lawrence, yet within easy reach of the vibrant villages of Welwyn, Wheathampstead and Codicote and a short drive away from the A1(M) that provides excellent links both north and south and a fast connection to the M1 and M25. Welwyn North station hosts regular fast services into central London, making this an easy commute, as well as regular services northbound as far afield as Edinburgh.

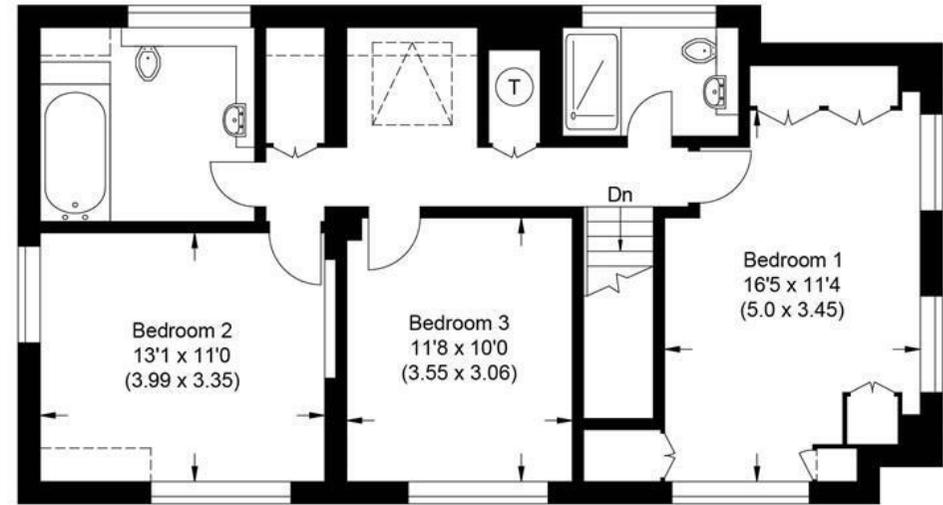




Approximate Gross Internal Area  
 147.70 sq m / 1589.83 sq ft  
 Including Limit Use Area  
 5.1 sq m / 55 sq ft



Ground Floor



First Floor

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
		<b>74</b>
	<b>36</b>	
England & Wales		
EU Directive 2002/91/EC		









**Bryan Bishop**  
*and partners*

6a High Street | Welwyn | AL6 9EG | 01438 718877 | [info@bryanbishop.co.uk](mailto:info@bryanbishop.co.uk) | [www.bryanbishop.co.uk](http://www.bryanbishop.co.uk) Find us on

